

# HISTORIC AND DESIGN REVIEW COMMISSION

January 19, 2022

**HDRC CASE NO:** 2021-641  
**ADDRESS:** 142 E AGARITA AVE  
**LEGAL DESCRIPTION:** NCB 1701 BLK 4 LOT E 37.5 FT OF 11 & W 25 FT OF 12  
**ZONING:** R-4,H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Monte Vista Historic District  
**APPLICANT:** Jesse Zuniga  
**OWNER:** Maria Cherry/CHERRY ROBERT N JR &  
**TYPE OF WORK:** Front porch enclosure and handrail installation  
**APPLICATION RECEIVED:** December 09, 2021  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Stephanie Phillips  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness to:

1. Install a wooden railing atop the 21" pony wall on the second story porch. The railing will measure 42" in height from the porch floor.
2. Install removable screening on the second story porch.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

### 1. Materials: Woodwork

#### A. MAINTENANCE (PRESERVATION)

- i. *Inspections*—Conduct semi-annual inspections of all exterior wood elements to verify condition and determine maintenance needs.
- ii. *Cleaning*—Clean exterior surfaces annually with mild household cleaners and water. Avoid using high pressure power washing and any abrasive cleaning or stripping methods that can damage the historic wood siding and detailing.
- iii. *Paint preparation*—Remove peeling, flaking, or failing paint surfaces from historic woodwork using the gentlest means possible to protect the integrity of the historic wood surface. Acceptable methods for paint removal include scraping and sanding, thermal removal, and when necessary, mild chemical strippers. Sand blasting and water blasting should never be used to remove paint from any surface. Sand only to the next sound level of paint, not all the way to the wood, and address any moisture and deterioration issues before repainting.
- iv. *Repainting*—Paint once the surface is clean and dry using a paint type that will adhere to the surface properly. See *General Paint Type Recommendations* in Preservation Brief #10 listed under Additional Resources for more information.
- v. *Repair*—Repair deteriorated areas or refasten loose elements with an exterior wood filler, epoxy, or glue.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Facade materials*—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.
- ii. *Materials*—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.
- iii. *Replacement elements*—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

### 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

#### A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

#### **B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)**

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

#### **FINDINGS:**

- a. The primary structure at 142 E Agarita is a 2.5-story residential structure constructed circa 1915 in the Craftsman style with Classical Revival influences. The structure features a 2-story full width front porch, woodlap siding, brick and battered columns, and a front gable dormer. The structure is contributing to the Monte Vista Historic District.
- b. **PORCH RAILING** – The applicant has proposed to install a wooden railing atop an existing 21” pony wall on the second-floor porch to achieve a railing height that is to modern code. The railing features a simple post and rail design that is compatible with the primary structure in design but not visually competing with existing historic features. Staff finds the proposal consistent.
- c. **PORCH SCREENING** – The applicant has proposed to screen the second story of the front porch with removable fabric insect screening. The applicant has provided photos from 20+ years ago that indicate that the second-floor porch was previously enclosed with more substantial screening. Per the Guidelines, enclosing front porches should be avoided. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric and should not feature a dark or opaque tint. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to porches should result in a space that functions, and is visually interpreted as, a porch. Staff finds the screening consistent with the Guidelines in this specific circumstance due to the transparent and reversible nature of the screening which results in the porch still visually reading as a porch.

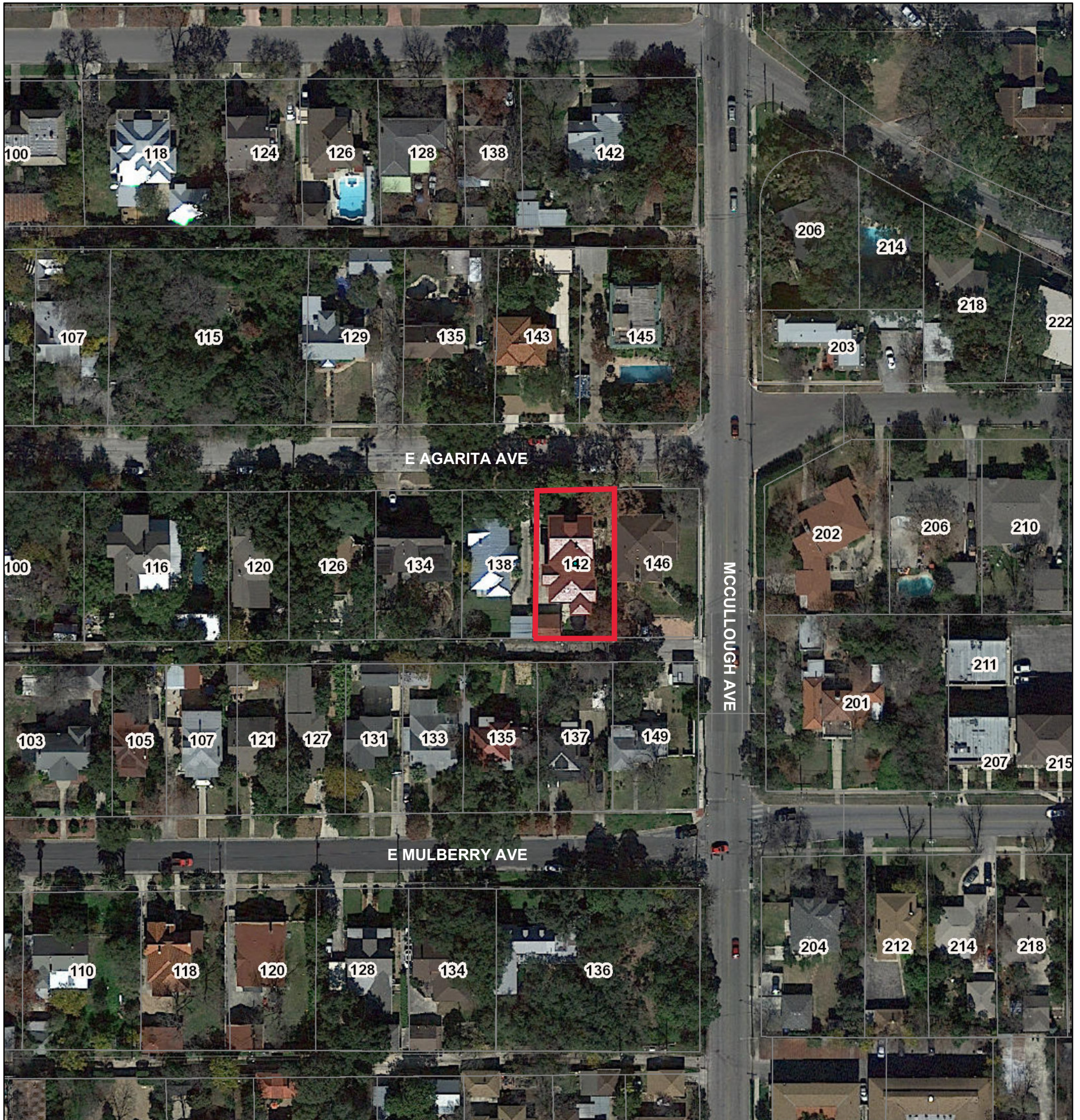
#### **RECOMMENDATION:**

Staff recommends approval of the request items based on findings a through c with the following stipulation:

- i. That the applicant submits a material specification for the screening to staff for review and approval prior to the issuance of a Certificate of Appropriateness. The screening shall be transparent, set back behind the porch columns, and not feature a dark or opaque tint. Original architectural details, such as columns, windows, and doors, shall not be obscured by any screening or enclosure materials.



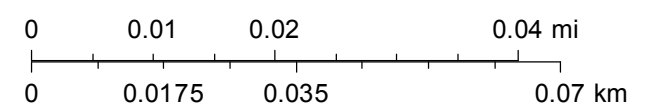
# City of San Antonio One Stop



January 13, 2022

1:1,000

- CoSA Addresses
- Community Service Centers
- Pre-K Sites
- CoSA Parcels
- BCAD Parcels
- COSA City Limit Boundary





142 E Agarita Ave





142 E Agarita Ave  
Existing balcony

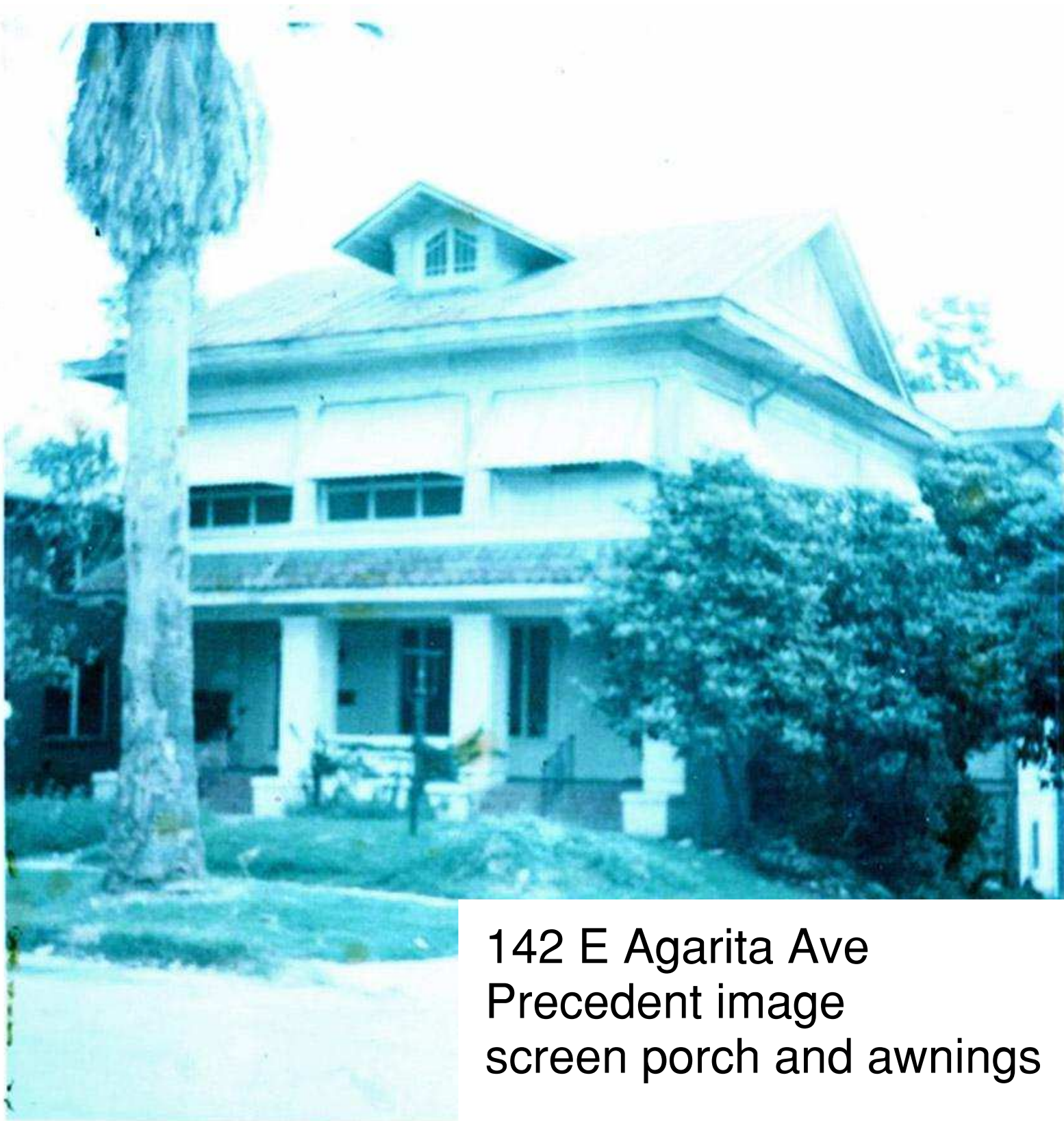




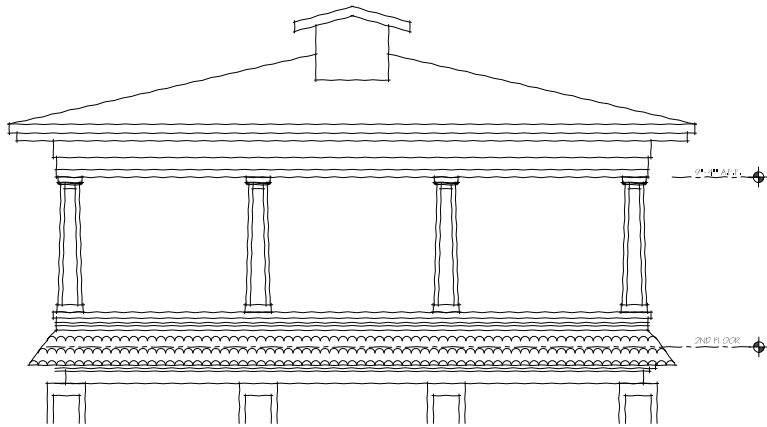


142 E Agarita Ave  
Existing balcony

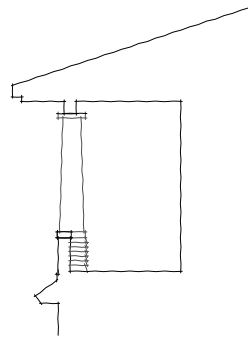




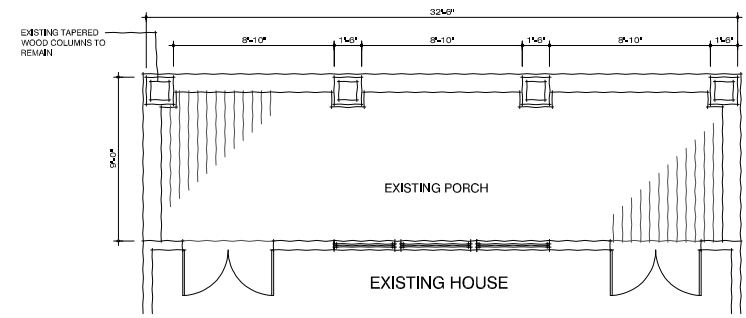
142 E Agarita Ave  
Precedent image  
screen porch and awnings



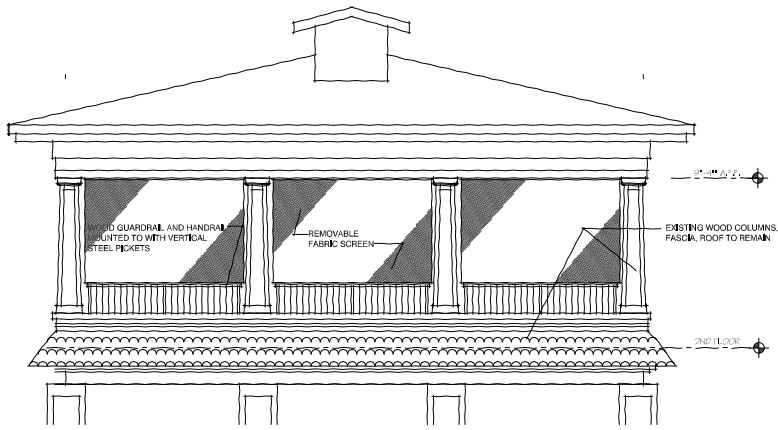
BALCONY ELEVATION-EXISTING



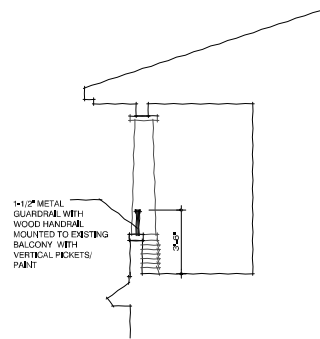
BALCONY SECTION-EXISTING



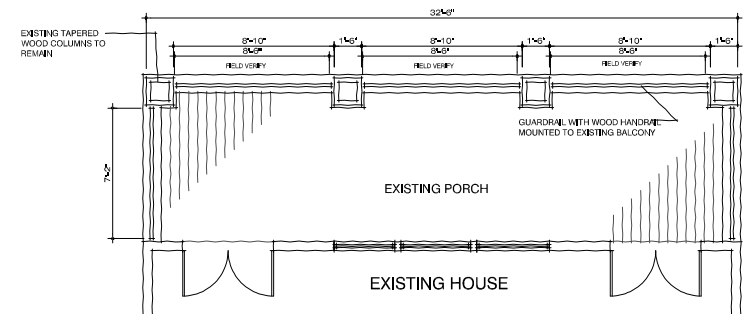
BALCONY FLOOR PLAN-EXISTING  
scale 1/4" = 1'-0"



BALCONY ELEVATION-NEW



BALCONY SECTION-NEW



BALCONY FLOOR PLAN-PROPOSED  
scale 1/4" = 1'-0"